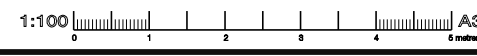
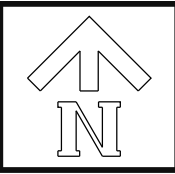


EXISTING SITE PLAN 1:200

no.	description	date
A	PAGE ADDED	24/10/22
amendments		
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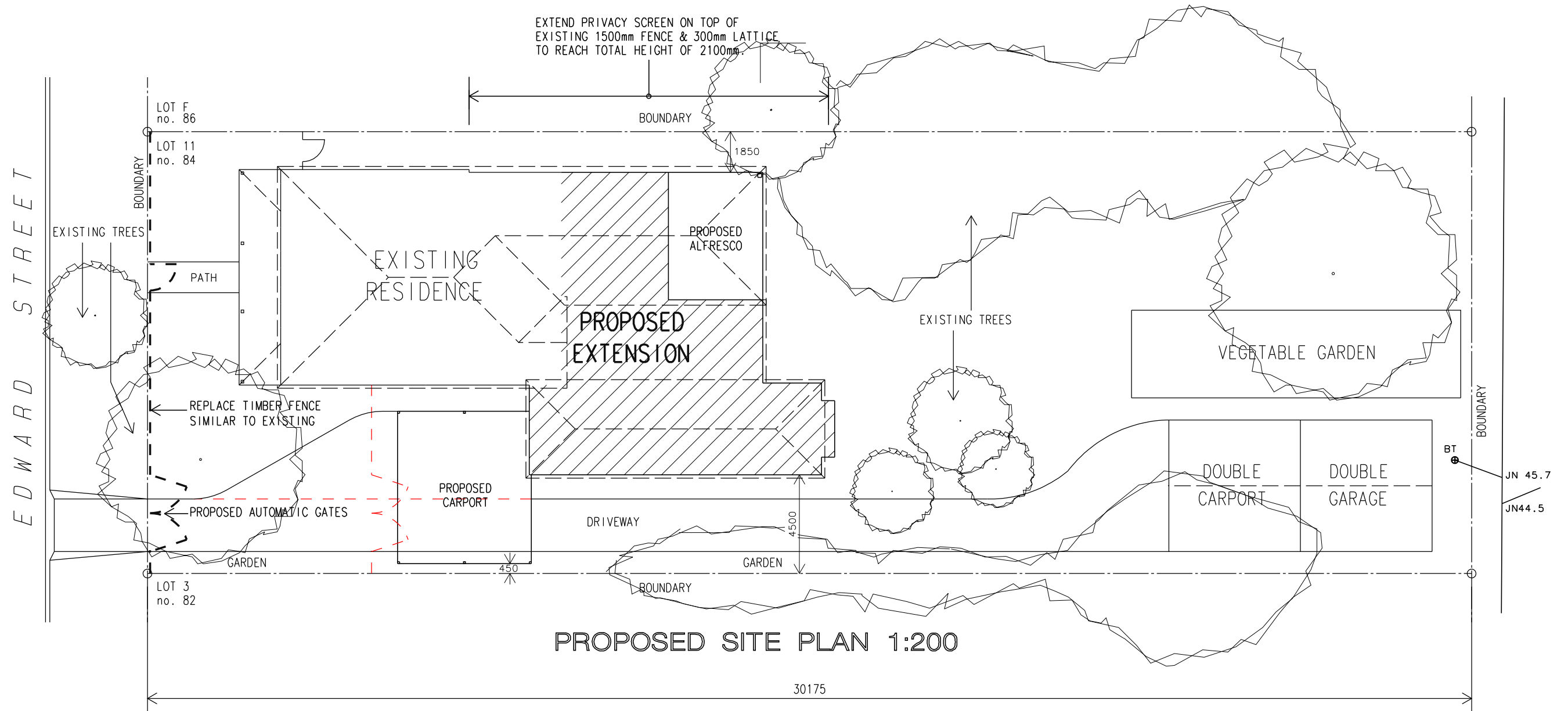
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project:  
**PROPOSED EXTENSION TO EXISTING RESIDENCE AT LOT 11 SECTION 5 (D.P. 8196) no. 84 EDWARD STREET ORANGE. N.S.W.**

client:  
 title:  
**EXISTING SITE PLAN**

	P 02 6383 1780 182 KITE STREET, PO BOX 1029 ORANGE NSW 2800 E info@mckinnondesign.com.au CORNWOOD PTY LTD ABN 24 074 426 798	scale: AS NOTED date: MAY 2020 job no: <b>20016</b> dwg no: 00 issue: A
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PROPOSED SITE PLAN 1:200

AREAS:	
EXISTING HOUSE RETAINED (inc. EXISTING VERANDAH)	= 144.7m <sup>2</sup>
PROPOSED EXTENSION	= 118.1m <sup>2</sup>
PROPOSED CARPORT	= 42.0m <sup>2</sup>
PROPOSED ALFRESCO	= 25.0m <sup>2</sup>
<b>TOTAL PROPOSED AREA</b>	<b>= 329.8m<sup>2</sup></b>

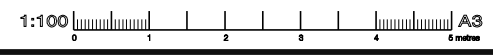
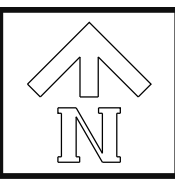
**CLOTHES LINE NOTE:**  
CLOTHES LINE TYPE & LOCATION  
TO BE CONFIRMED WITH OWNER.

no.	description	date
A	DRIVEWAY AMENDED/TREES ADDED	24/10/22
amendments		

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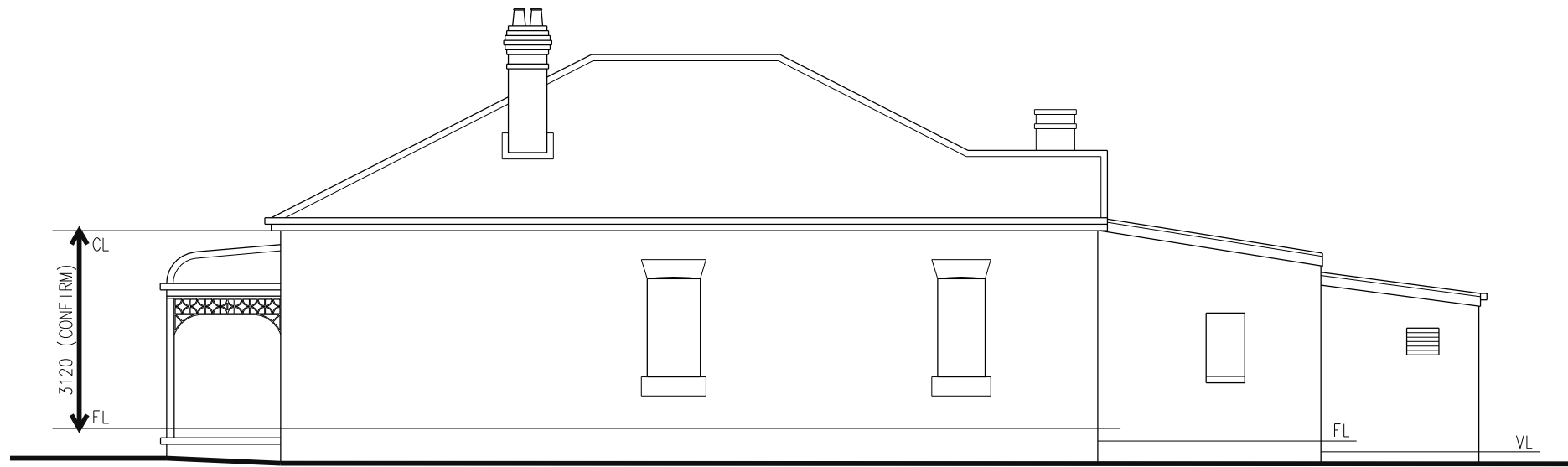
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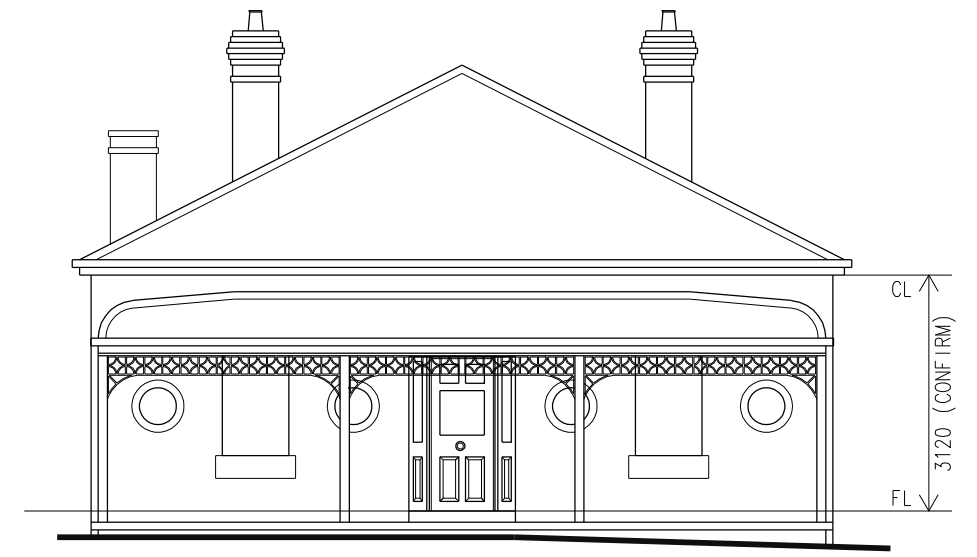
project:  
**PROPOSED EXTENSION TO EXISTING RESIDENCE AT LOT 11 SECTION 5 (D.P. 8196) no. 84 EDWARD STREET ORANGE. N.S.W.**

client:  
**PROPOSED SITE PLAN**

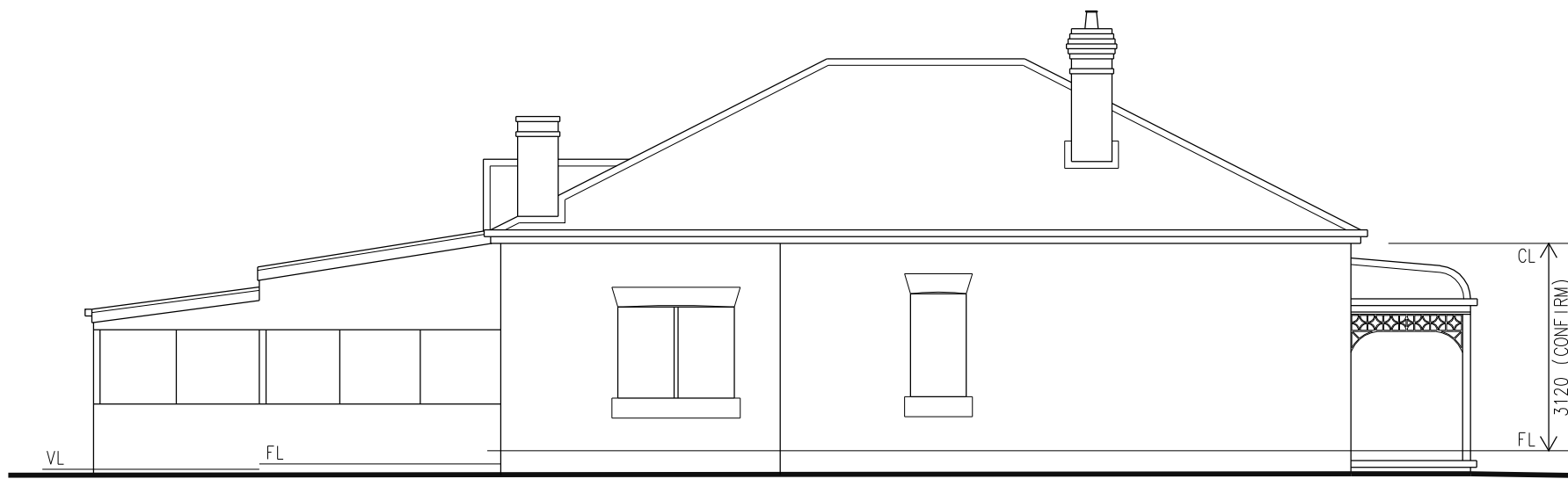
	P 02 6988 1780 182 KITE STREET, PO BOX 1029 ORANGE NSW 2800 E info@mckinnondesign.com.au CORNWOOD PTY LTD ABN 24 074 426 798	scale: AS NOTED date: MAY 2020 job no: <b>20016</b> dwg no: 01 issue: A
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EXISTING SOUTH ELEVATION 1:100



EXISTING WEST ELEVATION 1:100



EXISTING NORTH ELEVATION 1:100



EXISTING EAST ELEVATION 1:100

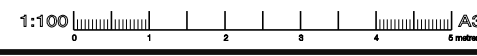
no.	description	date

amendments

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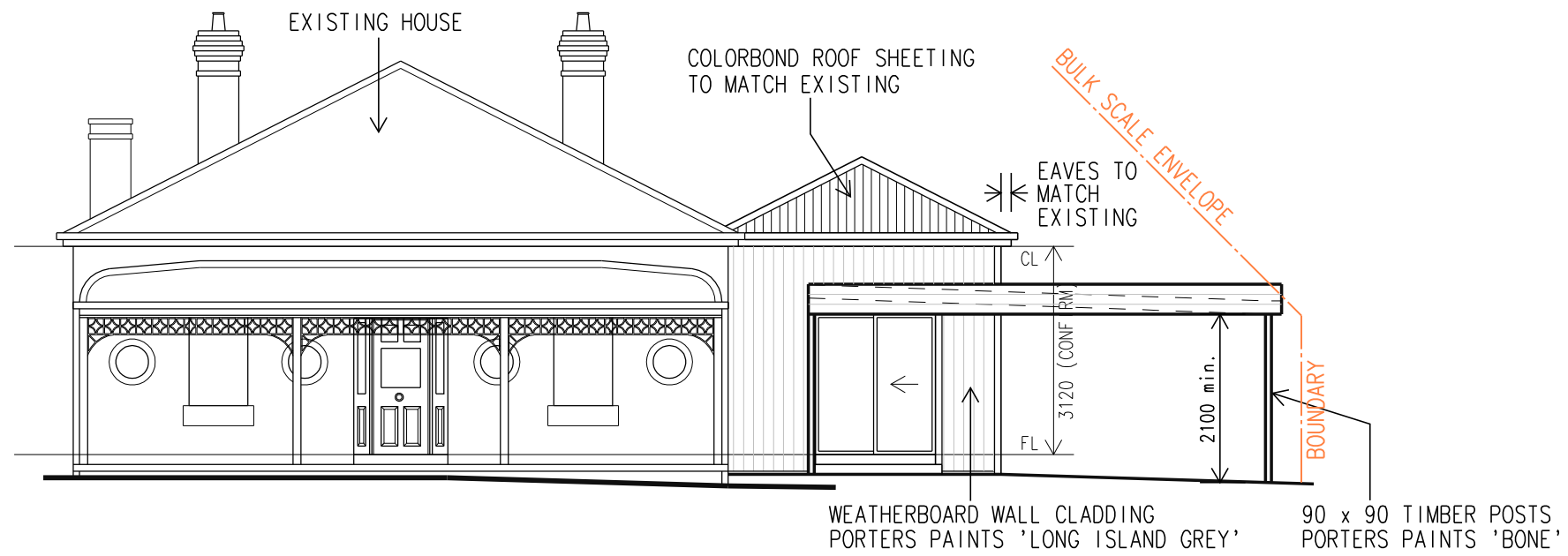
project:  
**PROPOSED EXTENSION TO EXISTING RESIDENCE AT LOT 11 SECTION 5 (D.P. 8196) no. 84 EDWARD STREET ORANGE. N.S.W.**

client:  
**EXISTING ELEVATIONS**

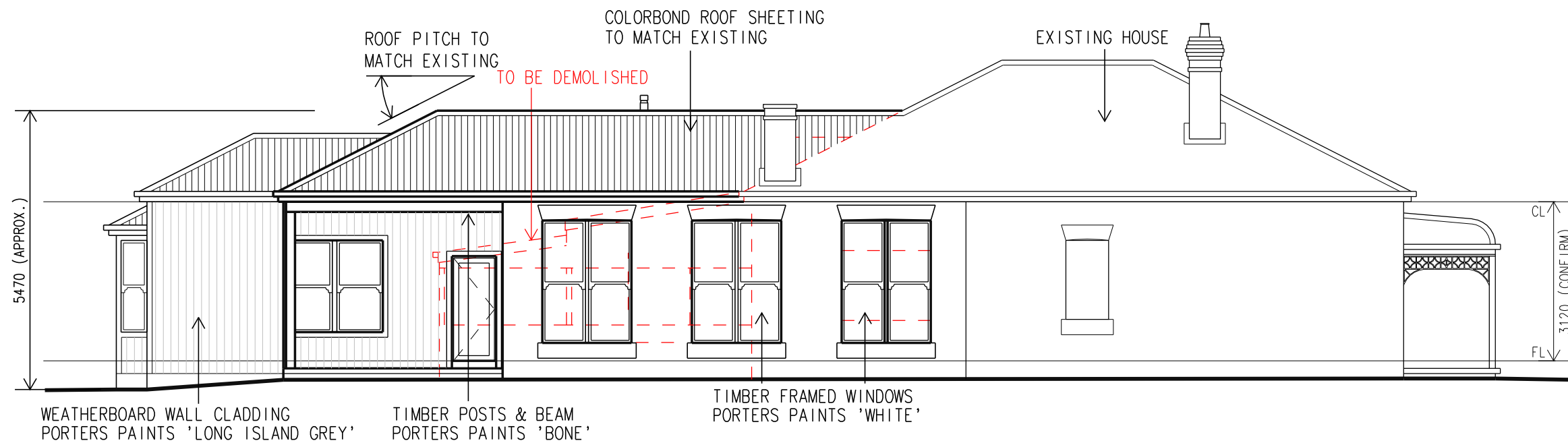
	P 02 8383 1780 182 KITE STREET, PO BOX 1029 ORANGE NSW 2800 E info@mckinnondesign.com.au CORNWOOD PTY LTD ABN 24 074 426 798	scale: AS NOTED drawn: S.B. date: MAY 2020 job no: <b>20016</b> dwg no: <b>03</b> issue: <b>A</b>
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**COLOUR GUIDE**

- PORTER PAINTS 'LONG ISLAND GREY'
- PORTER PAINTS 'WHITE'
- PORTER PAINTS 'BONE'



**PROPOSED WEST ELEVATION 1:100**



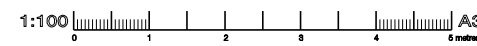
**PROPOSED NORTH ELEVATION 1:100**

no.	description	date

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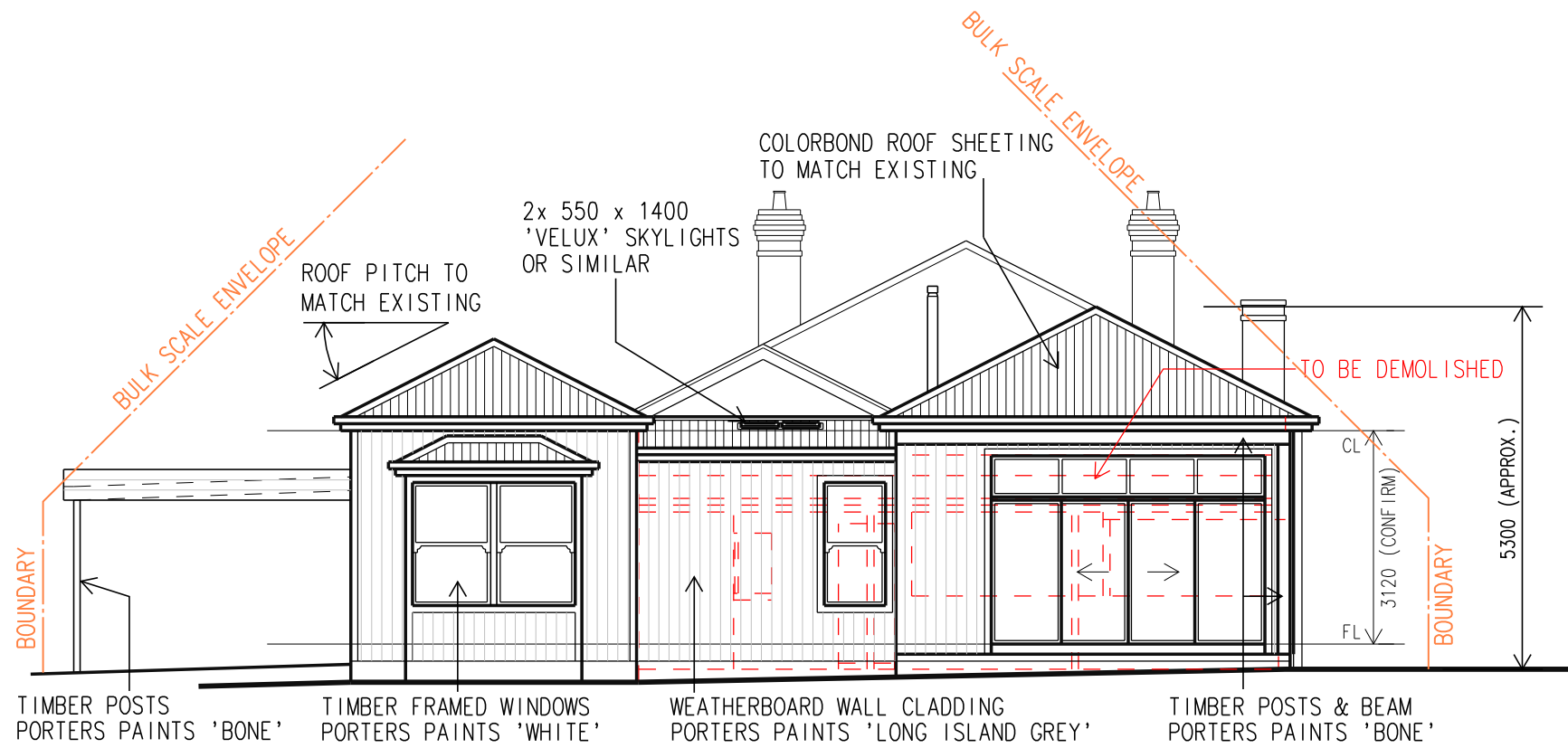
project:  
**PROPOSED EXTENSION TO EXISTING RESIDENCE AT LOT 11 SECTION 5 (D.P. 8196) no. 84 EDWARD STREET ORANGE. N.S.W.**

client:  
**PROPOSED ELEVATIONS**

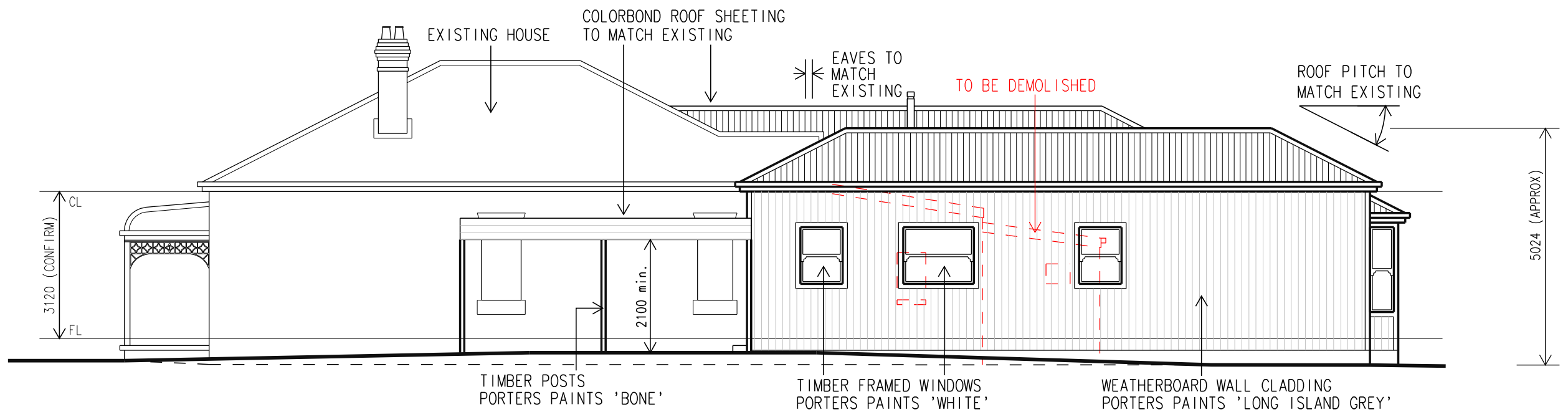
	P 02 6383 1780 182 KITE STREET, PO BOX 1029 ORANGE NSW 2800 E info@mckinnondesign.com.au	scale: AS NOTED date: MAY 2020
	job no: <b>20016</b>	issue: <b>A</b>
	client: CORNWOOD PTY LTD ABN 24 074 426 798	title: PROPOSED ELEVATIONS
	issue: <b>05</b>	date: MAY 2020

**COLOUR GUIDE**

- PORTER PAINTS 'LONG ISLAND GREY'
- PORTER PAINTS 'WHITE'
- PORTER PAINTS 'BONE'



**PROPOSED EAST ELEVATION 1:100**



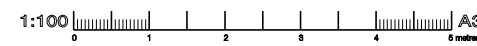
**PROPOSED SOUTH ELEVATION 1:100**

no.	description	date

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# SPECIFICATION:

## GENERAL

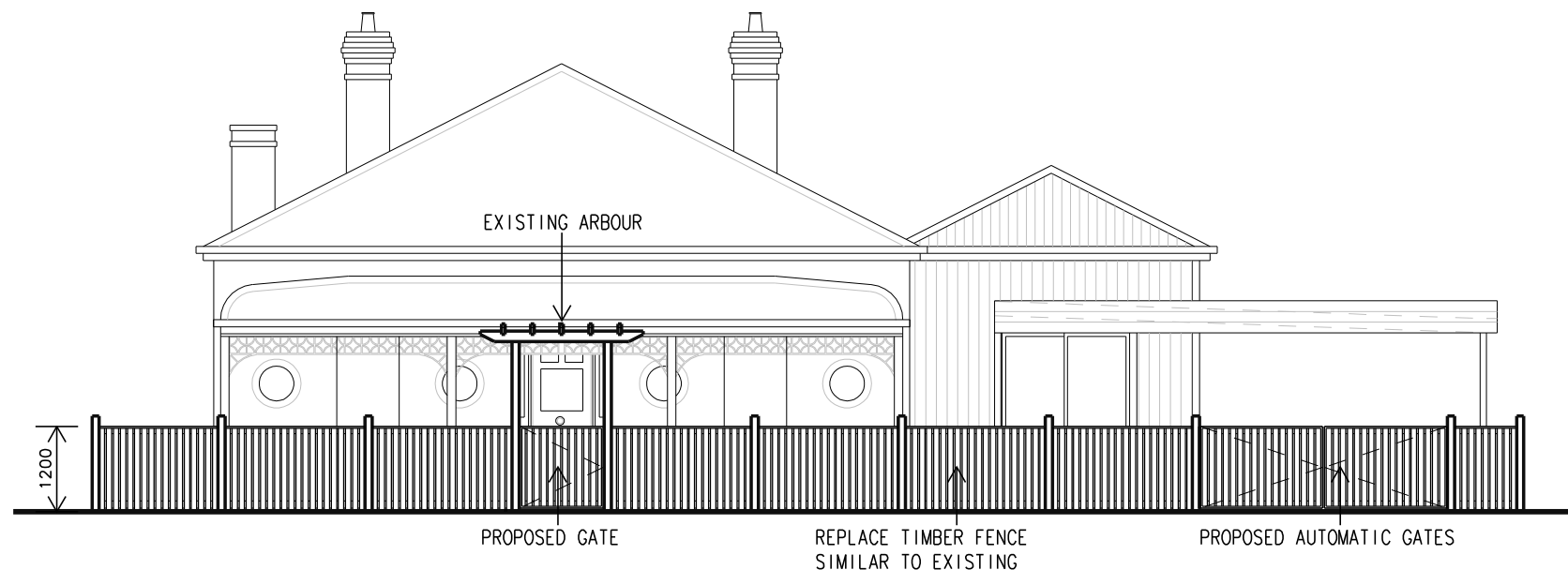
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
- DO NOT SCALE FROM DRAWING, IF IN DOUBT ASK.
- ALL DIMENSIONS AND LEVELS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY & SUITABILITY
- THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS DETAILS.
- THE CONSTRUCTION OF ANY STAIRWAYS & BALUSTRADES SHALL COMPLY WITH THE BCA.
- ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER.
- CONCRETE SLAB & FOOTINGS TO BE DESIGNED IN ACCORDANCE WITH AS2870.
- ALL TIMBER USED IN THE DEVELOPMENT IS TO BE STRICTLY IN ACCORDANCE WITH THE PROVISIONS OF AS1684. NATIONAL TIMBER FRAMING CODE, UNLESS A CERTIFICATE FROM A PRACTICING STRUCTURAL ENGINEER IS SUBMITTED TO COUNCIL CERTIFYING THAT THE BUILDING HAS BEEN DESIGN TO WITHSTAND THE MOST ADVERSE COMBINATION OF LOADS TO WHICH IT WILL BE SUBJECTED.

## STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY & THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE.
- THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS & THE PROVISIONS OF THE HOME BUILDING ACT.
- PRIOR TO THE COMMENCEMENT OF BUILDING WORK, THE BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS. WHERE THE LOCAL AUTHORITY REQUIRES THE TEMPORARY TOILET TO BE CONNECTED TO SEWER MAINS, THE ADDITIONAL COST SHALL BE TO THE OWNERS EXPENSE. ON COMPLETION THE BUILDER SHALL REMOVE AS REQUIRED.

## BUILDING CODE OF AUSTRALIA (BCA) REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEERS DETAILS & PART 3.1.1 OF THE BCA
- ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEERS DETAILS & PART 3.2.2 OF THE BCA.
- PROTECTION OF THE BUILDING FROM ATTACK BY TERMITES IS TO BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.3 OF THE BCA AND/OR AS3660.1. PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES
- ADEQUATE CROSS VENTILATION SPACE SHALL BE PROVIDED UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF THE BCA. SUB FLOOR ACCESS TO BE PROVIDED AS INDICATED.
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.1.2 OF THE BCA.
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.3 OF THE BCA. AND/OR AS1684.
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & ERECTED, FIXED, BRACED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- ALL METAL FITTINGS USED IN STRUCTURAL TIMBER JOINTS & BRACING MUST HAVE CORROSION PROTECTION.
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH PART 3.4.2 OF THE BCA.
- ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF THE BCA.
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF THE BCA.
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2.
- FLASHINGS SHALL COMPLY WITH PART 3.3.4 OF THE BCA.
- CLAY BRICKWORK SHALL COMPLY WITH PART 3.3 OF THE BCA, AS/NZS4455, AS/NZS4456 & AS3700.
- DAMP PROOF COURSES SHALL COMPLY WITH PART 3.3.4 OF THE BCA.
- CAVITY VENTILATION SHALL BE IN ACCORDANCE WITH PART 3.3.4 OF THE BCA.
- MORTAR SHALL COMPLY WITH PART 3.3.1 OF THE BCA. APPROPRIATE TIES SHALL BE INSTALLED TO ARTICULATE MASONRY JOINTS.
- LINTELS USED TO SUPPORT BRICKWORK OVER WALL OPENINGS SHALL COMPLY WITH PART 3.3.3 OF THE BCA. & BE PROTECTED FROM CORROSION IN ACCORDANCE WITH PART 3.4.4 OF THE BCA.
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF THE BCA.
- ALL TIMBER DOORS & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS LISTED OTHERWISE IN THE SCHEDULE OF WORKS.
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS2047.
- ALL GLAZING SHALL COMPLY WITH PART 3.6 OF THE BCA. & THE REQUIREMENTS OF BASIX.
- ALL PLUMBING SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY & AS3500 & BE CARRIED OUT BY A LICENSED PLUMBER.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- ALL GAS INSTALLATIONS SHALL COMPLY WITH WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY & BE CARRIED OUT BY A LICENSED GAS FITTER.
- PROVIDE & INSTALL HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786 & PART 3.7.2 OF THE BCA WHERE INDICATED.
- INSTALLATION OF WALL & FLOOR TILES SHALL BE BE IN ACCORDANCE WITH AS3958.1
- BUILDING IS TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF THE BCA, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOFS, WALLS & FLOORS.
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF THE BCA, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING & HEATING & COOLING DUCTWORK.
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF THE BCA.



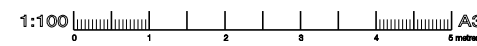
FENCE DETAIL 1:100

no.	description	date

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client:  
**FENCE DETAIL & SPECIFICATION**

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	job no: <b>20016</b> dwg no: <b>07</b> issue: <b>A</b>	